



Application for Architectural Review Board

*** This application must be filled out completely and signed before submittals are placed on the ARB agenda.**

The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.

APPLICANT INFORMATION

Name of Applicant: SITELINES INC

Phone #: 314-534-4513 x104

Email address of Applicant (for review comments): mohagan@sitelinesinc.com

PROJECT PROPERTY INFORMATION

Address for proposed work: 28 Somerset Downs, Ladue, Missouri 63124

Zoning District: A Parcel ID # (St. Louis county record): 20M210050

DESCRIPTION OF PROPOSED PROJECT: Renovation and addition to existing residence

Additional Information:

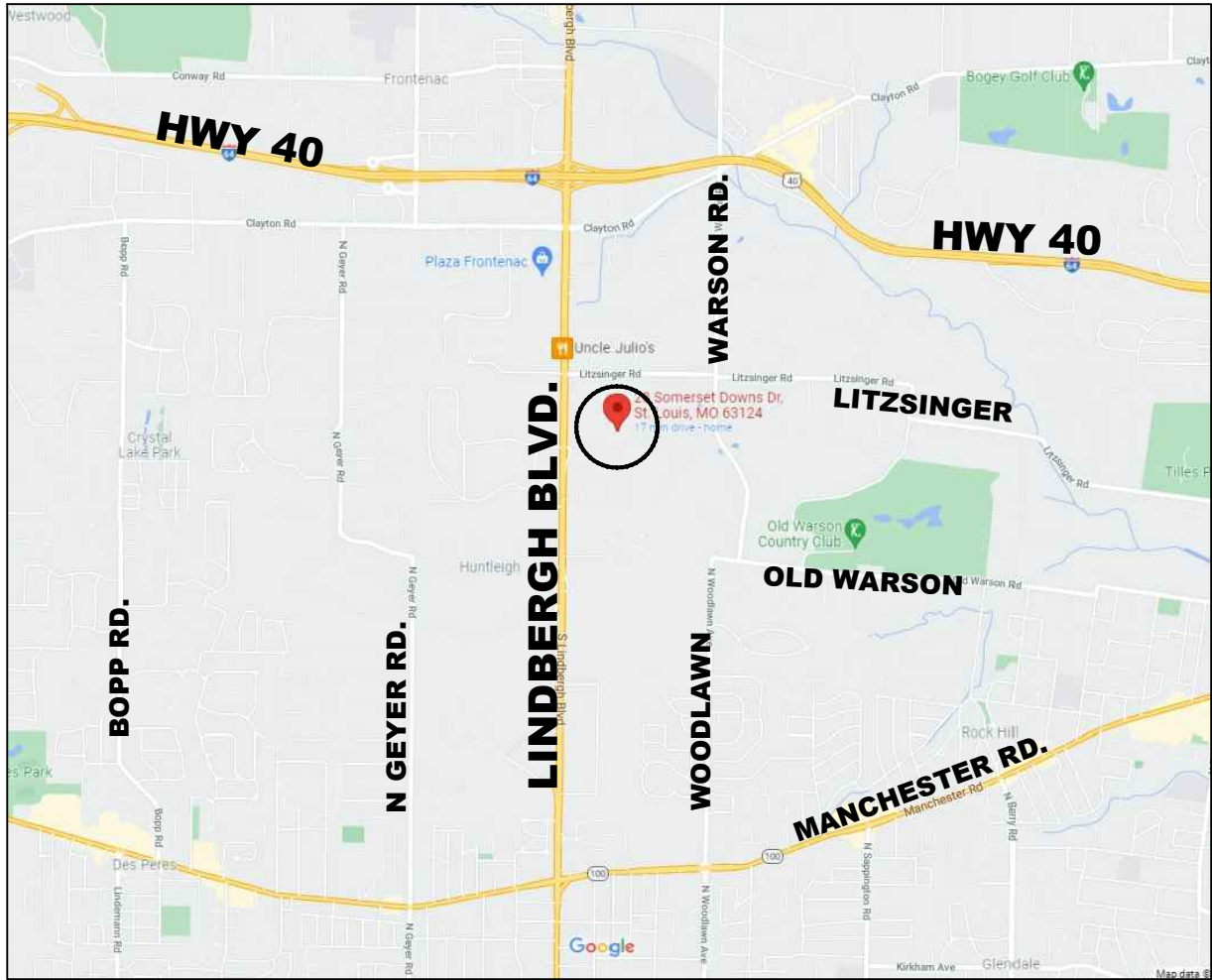
- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.

X

Date: 10/27/2021




* This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision. Approval of this ARB proposal does not waive any other permit or other authorization by the City that may be required for you to fully complete your proposed project.



I
A.0 PROJECT VICINITY MAP
SCALE: NTS



I
A.0 SATELLITE SITE IMAGE
SCALE: NTS

BUILDING INFORMATION	DESCRIPTION OF WORK	SYMBOL LEGEND
<p>CITY OF LADUE, MO. NEIGHBORHOOD: SOMERSET DOWNS EXISTING SINGLE FAMILY RESIDENCE. SITE AREA: 130,855sf = ~3 ACRES SETBACKS: SEE SURVEY / SITE PLAN EXISTING SQ.FT. & FOOTPRINT: 6,889sf & 4,827sf BUILDING HEIGHT & No. STORIES: ~32'-6", 2 STORIES</p> <p>NEW CONSTRUCTION: SQ.FT. NEW/ADDITION: 2,251sf TOTAL POST-RENOVATION SQ.FT.: 9,140sf % FLOOR AREA RATIO (FAR): 6.98% APPROX. TOTAL SQ.FT. SITE IMPERVIOUS: 26,515sf % SITE COVERAGE = 20.26%</p>	<p>RENOVATION AND ADDITION TO EXISTING SINGLE FAMILY RESIDENCE WITHIN <i>SOMERSET DOWNS</i> NEIGHBORHOOD AT END OF A CUL-DE-SAC. NEW COVERED PATIO AREAS ON FRONT AND BACK OF HOUSE. NEW ENTRY DOOR AND CONCRETE APPROACH. NEW ADDITION IN REAR, INCLUDING 2-CAR GARAGE, GUEST SUITE, BAR/HEARTH ROOM, AND OUTDOOR KITCHEN. NEW STAND-ALONE PAVILION. NEW/REPLACED POOL DECK PAVING. NEW LANDSCAPE WALLS, WALKS, AND PLANTINGS THROUGHOUT.</p>	<p> WALL / DOOR TO REMAIN</p> <p> NEW WALL / DOOR</p> <p> NORTH ARROW</p>
APPLICABLE CODES	CONTACT INFORMATION	SHEET LIST
<p>LADUE, MO - 2015 INTERNATIONAL RESIDENTIAL CODE 2015 INTERNATIONAL FIRE CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL FUEL GAS CODE 2015 UNIFORM PLUMBING CODE 2015 PROPERTY MAINTENANCE CODE</p>	<p>OWNER: KEN & MELISSA CELLA CONTACT: KENCELLA@GMAIL.COM</p> <p>BUILDER: SITELINES, INC - KELLY KENTER CONTACT: 314.534.4513 - KKENTER@SITELINESINC.COM</p> <p>ARCHITECT: NICK ADAMS - MADEMAN DESIGN CONTACT: 314.200.2638 - NICK@MADEMANDESIGN.COM</p>	<p>A.0 - PROJECT INFORMATION A.1 - SURVEY A.2 - FLOOR PLAN A.3 - SCOPE OF WORK A.4 - SOUTHWEST ELEVATION A.5 - SOUTHEAST ELEVATION</p> <p>A.6 - EAST ELEVATION A.7 - NORTH ELEVATION A.8 - COURTYARD A.9 - PAVILION A.10 - 2D ELEVATIONS</p>



DESIGN & WORKSHOP



4512 MANCHESTER AVE. #300
SAINT LOUIS, MO 63110
TEL: 314-534-4513

NICK ADAMS
A-2014003626

ARCHITECTURAL DOCUMENTS FOR:
RENOVATION / ADDITION TO
#28 SOMERSET DOWNS DR
ST LOUIS, MO 63124

10.22.21

A.0

PROJECT INFO



I SURVEY / SITE PLAN OVERLAY
A.1 SCALE: GRAPHIC

SITE PLAN

SCALE: 0 20 FEET
© 2013 WILLIAM D. COVER ARCHITECT LLC

1. VERIFY ALL SITE CONDITIONS, DIMENSIONS, EASEMENTS, UTILITIES, SOIL CONDITIONS, GRADES, ETC.
2. ASPHALT DRIVE AND TURNAROUND.
3. FRONT PORCH, MAIN WALK & STEPS - CONCRETE
4. REAR VERANDA - CONCRETE
5. PERIMETER DRIP DRAIN TO DAYLIGHT AGAINST HOUSE AT HIGH GRADE
6. OMITTED NOTE
7. REMOVE EXISTING TREES DISPLACED BY CONSTRUCTION TYP
8. REMAINING EXISTING TREES TO BE PROTECTED AS REQ'D TYP
9. 20 KW BACK-UP GENERATOR, VERIFY BEST LOCATION
10. ----- APPROX EXISTING GRADE
11. ----- PROPOSED GRADE
12. POOL, POOL DECK, REAR WALK, EQUIPMENT & FENCE BY POOL COMPANY PER SEPARATE PERMIT
13. GEOTHERMAL HVAC (NO AC UNITS)
14. STONE RETAINING WALL
15. STEPPING STONES BY LANDSCAPE CO.
16. GRILLING BAR
17. OMITTED NOTE
18. OUTDOOR WOOD GRILLE IN FIREPLACE
19. REAR MASTER BR. VERANDA - CONCRETE
20. OMITTED NOTE

BUILDING HEIGHT: 8'-4" 5/8"
SITE 130,855 SQ. FT.
4740 S.F.
AREA CALCULATIONS:
1st FLOOR 4700 S.F.
2nd FLOOR 1450 S.F.
6650 S.F.
GARAGE 1405 S.F.
PORCHES 700 S.F.
8,755 S.F.
SITE 130,855 SQ. FT.
6.7 % HOUSE - SITE RATIO
FRONT YARD COVERAGE = 18.6 %
FRONT YARD 44,750 S.F.
DRIVE & WALK 8,910 S.F.
FINISHED BASEMENT 420 S.F.
UNFINISHED BASEMENT 2700 S.F.
4219 S.F.

STRAP BALES PLACED (P6 TO P10) & TRENDED 6" MIN INTO GROUND

STRAP BALES IN PLACE WITH 4 FT. 152 STRAPES (2 PER BALE)

EXISTING GROUND

STRAP BALE

SILTATION CONTROL

BUILDER SHALL INSTALL A SILTATION CONTROL BARRIER AROUND CONSTRUCTION SITE AS REQ'D TO CONTAIN SILTATION RUN-OFF ON SITE

GENERAL NOTES

- REGULATIONS IN LADUE REQUIRE THAT EACH LAND DEVELOPMENT PROJECT MUST INCLUDE A PLAN TO ENSURE THAT ALL INCREASES AND CHANGES TO STORM WATER DISCHARGE ARE BEING RETAINED ON THE PROPERTY AND PROPERLY CONTROLLED. SEPARATE STORMWATER MANAGEMENT PLAN TO BE PREPARED AND SUBMITTED BY CIVIL ENGINEER.
- NO ALTERATION IN THE FLOW OF THE EXISTING SURFACE WATER MAY OCCUR WHICH WILL RESULT IN INCREASED WATER FLOW ONTO ANY ADJOINING RESIDENTIAL PROPERTY, NOR MAY THE NATURAL SURFACE WATER FLOW BE ALTERED IN A WAY WHICH WILL OBSTRUCT FLOW AND CAUSE THE WATER TO BACK UP ON ADJOINING PROPERTY. THE INTENT IS FOR THE SURFACE WATER TO DRAIN TO EITHER APPROVED STORM INLETS, NATURAL DRAINAGE WAYS, OR BE CONVEYED BY SWALES OR PIPES ONTO THE STREET.
- ROOF DRAINS, SUMP PUMPS OR OTHER PIPED WATER SYSTEM SHALL NOT BE DISCHARGED ONTO ADJACENT PROPERTY BUT SHALL BE DRAINED AS NOTED ABOVE.

SYMBOL LEGEND

- NEW STRUCTURE
- NEW CONC. PAVING
- NEW PLANTING BED
- NEW TREE

KEYED NOTES

- 1 NEW SLATTED CANOPY @ MASTER
- 2 NEW ENTRY DOOR & APPROACH
- 3 NEW COVERED PORCH @ ENTRY
- 4 NEW OFFICE ADDITION
- 5 NEW DRIVEWAY PAVING
- 6 NEW 2-CAR GARAGE
- 7 NEW GUEST SUITE
- 8 NEW OUTDOOR KITCHEN
- 9 NEW BAR/HEARTH ROOM
- 10 NEW ROOF @ EXIST. PATIO
- 11 NEW POOL DECK PAVING
- 12 NEW COVERED PATIO @ MASTER
- 13 NEW PAVILION AND PAVING



DESIGN & WORKSHOP



4512 MANCHESTER AVE. #300
SAINT LOUIS, MO 63110
TEL: 314-534-4513

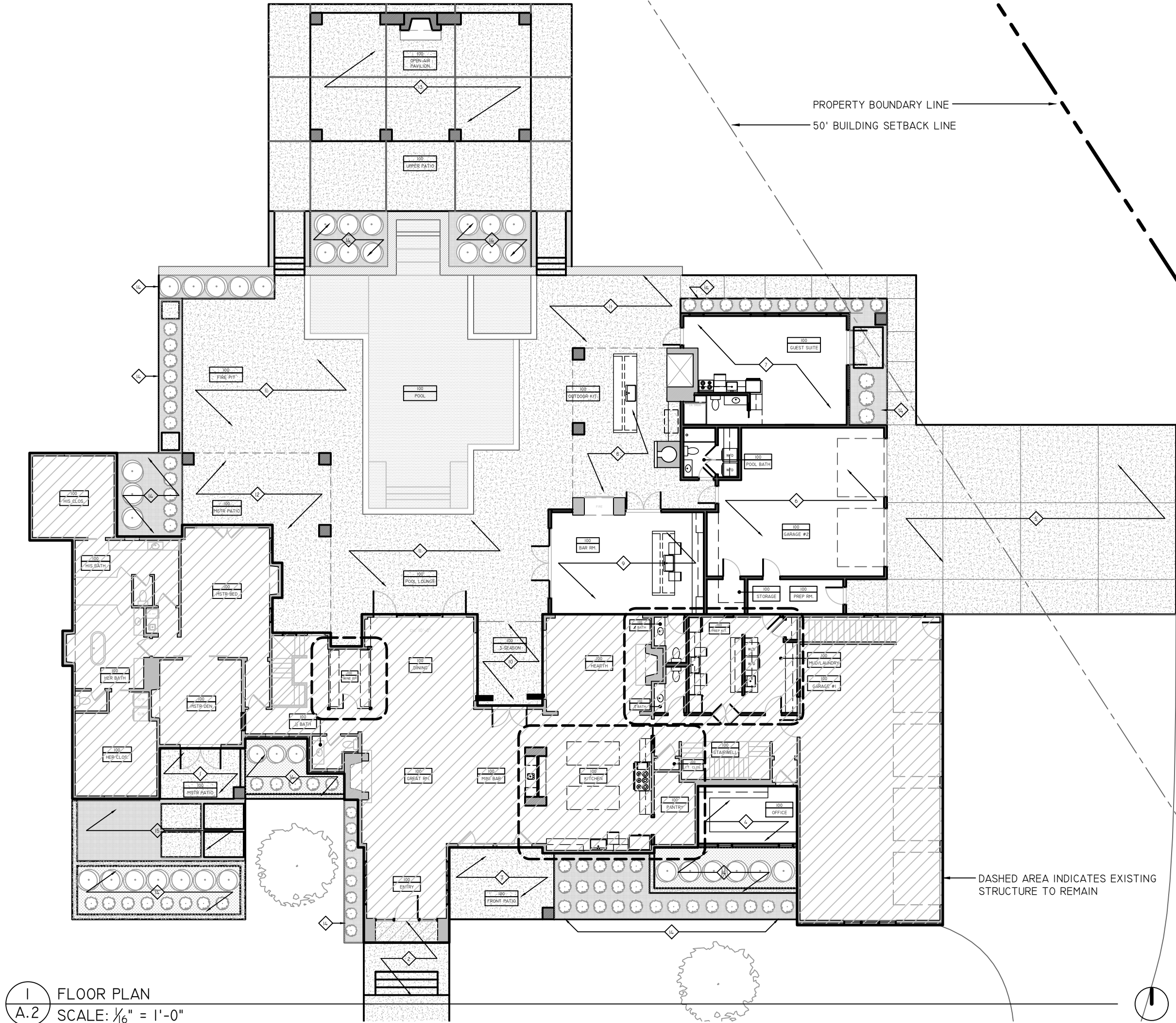
NICK ADAMS
A-2014003626

ARCHITECTURAL DOCUMENTS FOR:
RENOVATION / ADDITION TO
#28 SOMERSET DOWNS DR
ST LOUIS, MO 63124

10.22.21

A.1

SURVEY / SITE



1 FLOOR PLAN
A.2 SCALE: 1/16" = 1'-0"

GENERAL NOTES

- ALL NEW ADDITION WALLS AND ROOFS TO MATCH EXISTING IN STYLE AND MATERIAL - 2x6 WOOD STUD FRAMING WITH 'STUCCO' FINISH
- REMOVE ALL EXISTING SHUTTERS, TYP. ADD NEW (OR VERIFY EXIST) WOOD WINDOW/DOOR HEAD CASING, UNO.
- ASSUME NEW HARDWOOD FLOORS TO MATCH THROUGHOUT ENTIRE RESIDENCE
- NOTE PARTIAL RENOVATION OF EXISTING 'CLOUDED' INTERIOR SPACE/S

KEYED NOTES

- 1 NEW SLATTED CANOPY @ MASTER
- 2 NEW ENTRY DOOR & APPROACH
- 3 NEW COVERED PORCH @ ENTRY
- 4 NEW OFFICE ADDITION
- 5 NEW DRIVEWAY PAVING
- 6 NEW 2-CAR GARAGE
- 7 NEW GUEST SUITE
- 8 NEW OUTDOOR KITCHEN
- 9 NEW BAR/HEARTH ROOM
- 10 NEW ROOF @ EXIST. PATIO
- 11 NEW POOL DECK PAVING
- 12 NEW COVERED PATIO @ MASTER
- 13 NEW PAVILION AND PAVING
- 14 NEW LANDSCAPED BED
- 15 'FLOATING' CONC. PADS WITHIN CRUSHED GRAVEL 'ROCK BED'



DESIGN & WORKSHOP



4512 MANCHESTER AVE. #300
SAINT LOUIS, MO 63110
TEL: 314-534-4513

NICK ADAMS
A-2014003626

ARCHITECTURAL DOCUMENTS FOR:
RENOVATION / ADDITION TO
#28 SOMERSET DOWNS DR
ST LOUIS, MO 63124

10.22.21

A.2

FLOOR PLAN



PICTURE OF MASTER SUITE, FRONT (SOUTHWEST)



PICTURE OF FRONT OF HOUSE (SOUTHEAST)



PICTURE OF GARAGE SIDE (EAST)

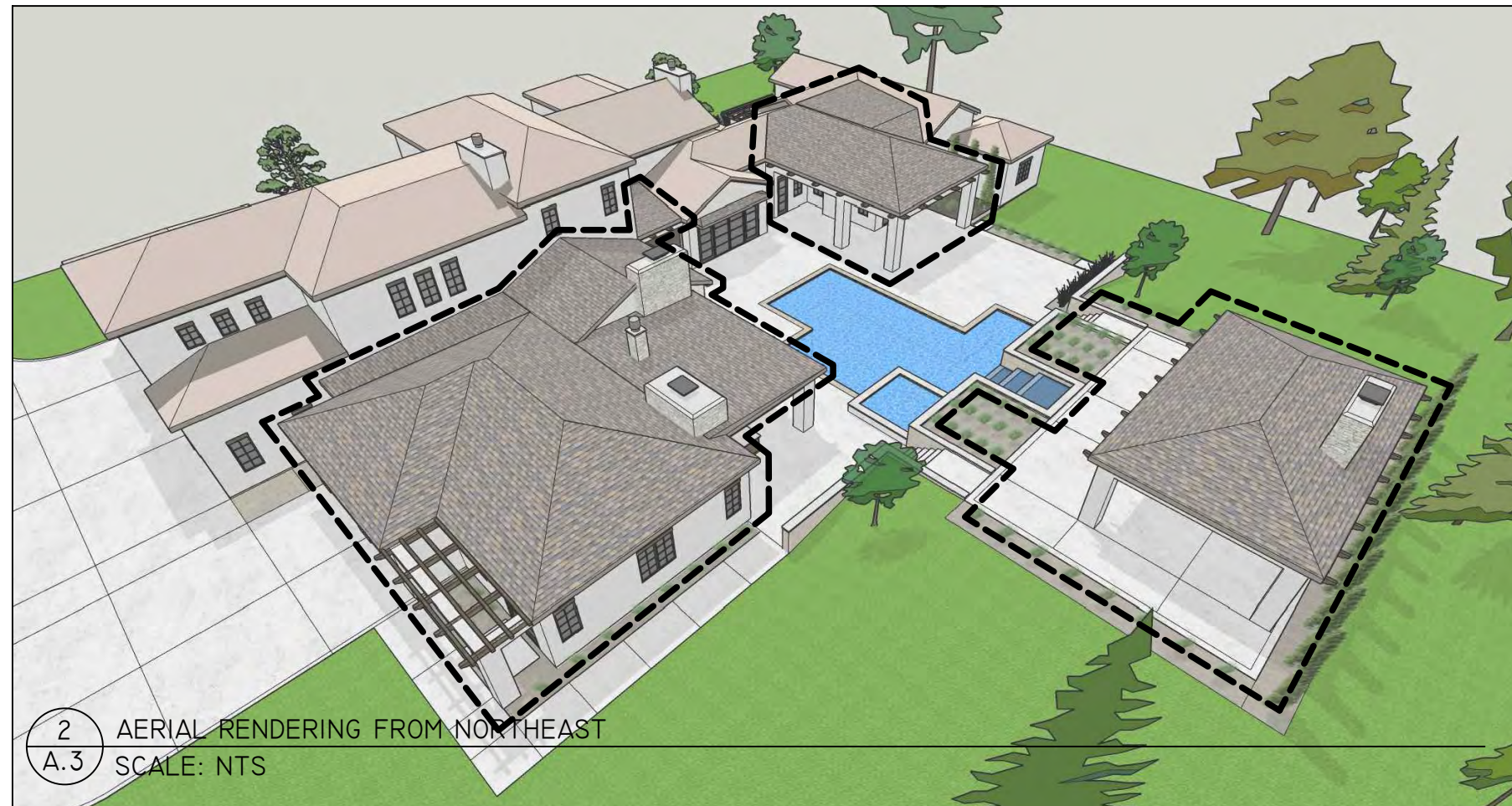


PICTURE OF BACKYARD (NORTH)



1 A.3 AERIAL RENDERING FROM SOUTHWEST
SCALE: NTS

*NOTE: EXISTING STRUCTURE SHOWN WITH MONOCHROME 'TAN' ROOF; NEW STRUCTURE SHOWN WITH 'SHINGLED' ROOF



2 A.3 AERIAL RENDERING FROM NORTHEAST
SCALE: NTS



DESIGN & WORKSHOP



4512 MANCHESTER AVE. #300
SAINT LOUIS, MO 63110
TEL: 314-534-4513

NICK ADAMS
A-2014003626

ARCHITECTURAL DOCUMENTS FOR:
RENOVATION / ADDITION TO
#28 SOMERSET DOWNS DR
ST LOUIS, MO 63124

10.22.21

A.3

OVERALL SCOPE



1 RENDERING OF FRONT YARD AT MASTER PORCH (SOUTHWEST)



2 RENDERING AT MASTER PORCH



3 PHOTOGRAPH OF EXISTING CONDITIONS @ AREA OF WORK



DESIGN & WORKSHOP



4512 MANCHESTER AVE. #300
SAINT LOUIS, MO 63110
TEL: 314-534-4513

NICK ADAMS
A-2014003626

ARCHITECTURAL DOCUMENTS FOR:
RENOVATION / ADDITION TO
#28 SOMERSET DOWNS DR
ST LOUIS, MO 63124

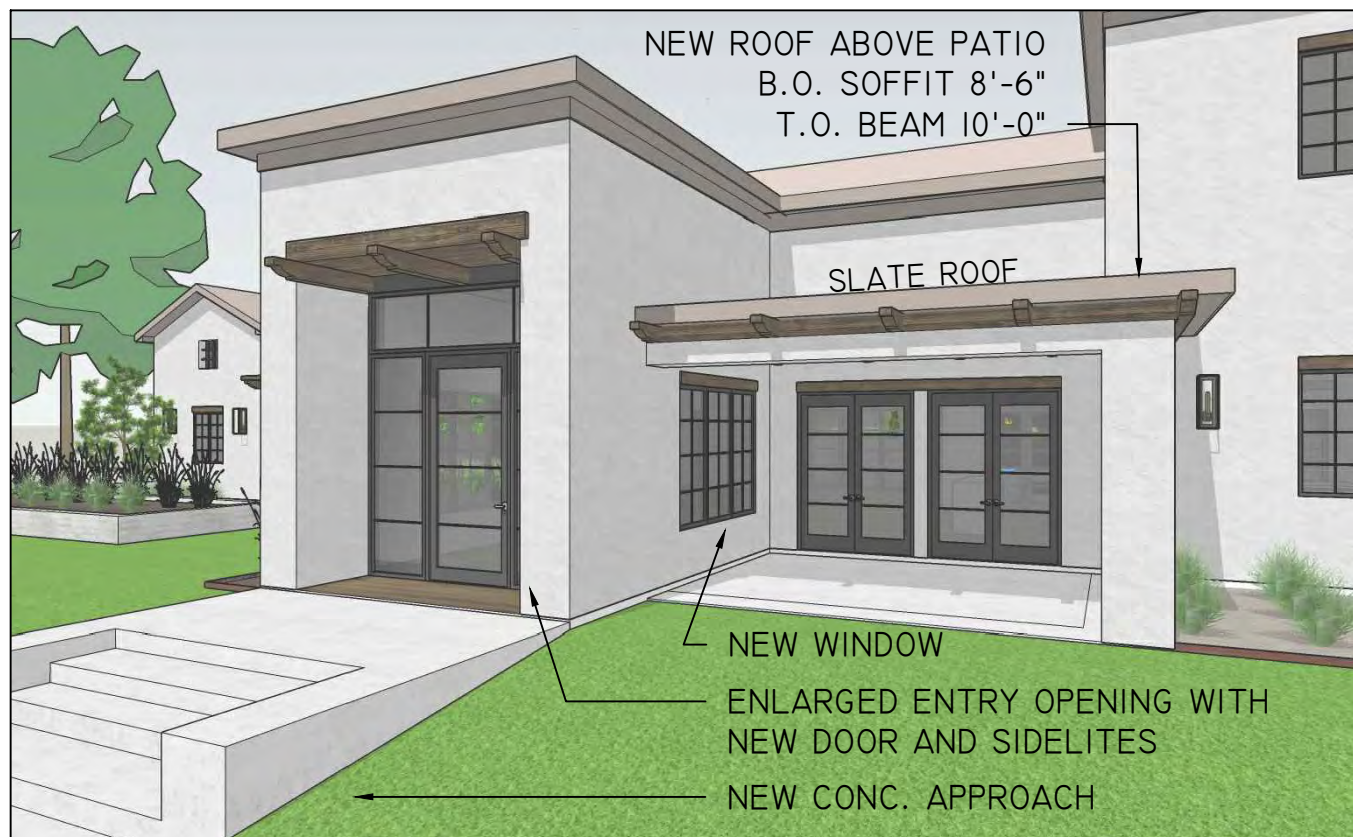
10.22.21

A.4

SOUTHWEST



1 RENDERING OF FRONT YARD AT NEW OFFICE ADDITION



2 RENDERING AT NEW PORCH BY ENTRY



3 PHOTOGRAPH OF EXISTING CONDITIONS @ AREA OF WORK



DESIGN & WORKSHOP



4512 MANCHESTER AVE. #300
SAINT LOUIS, MO 63110
TEL: 314-534-4513

NICK ADAMS
A-2014003626

ARCHITECTURAL DOCUMENTS FOR:
RENOVATION / ADDITION TO
#28 SOMERSET DOWNS DR
ST LOUIS, MO 63124

10.22.21

A.5

SOUTHEAST



DESIGN & WORKSHOP



4512 MANCHESTER AVE. #300
SAINT LOUIS, MO 63110
TEL: 314-534-4513

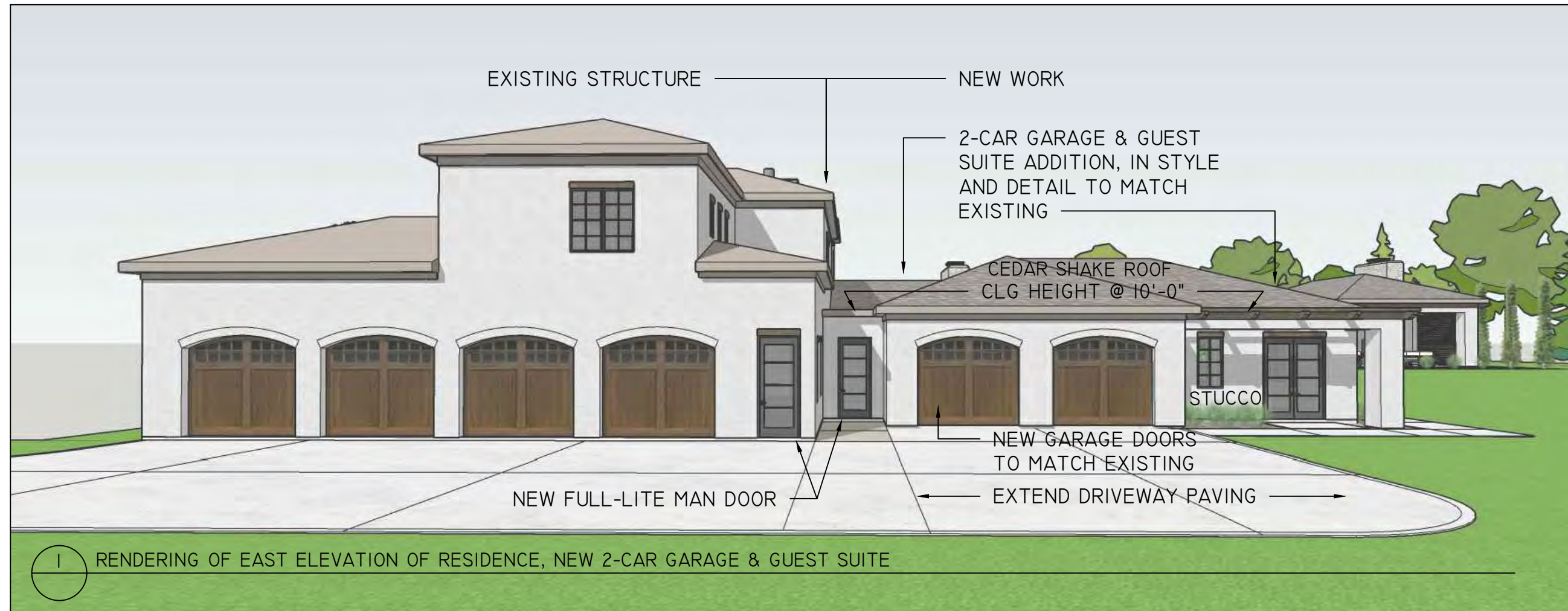
NICK ADAMS
A-2014003626

ARCHITECTURAL DOCUMENTS FOR:
RENOVATION / ADDITION TO
#28 SOMERSET DOWNS DR
ST LOUIS, MO 63124

10.22.21

A.6

EAST ELEV.





DESIGN & WORKSHOP



4512 MANCHESTER AVE. #300
SAINT LOUIS, MO 63110
TEL: 314-534-4513

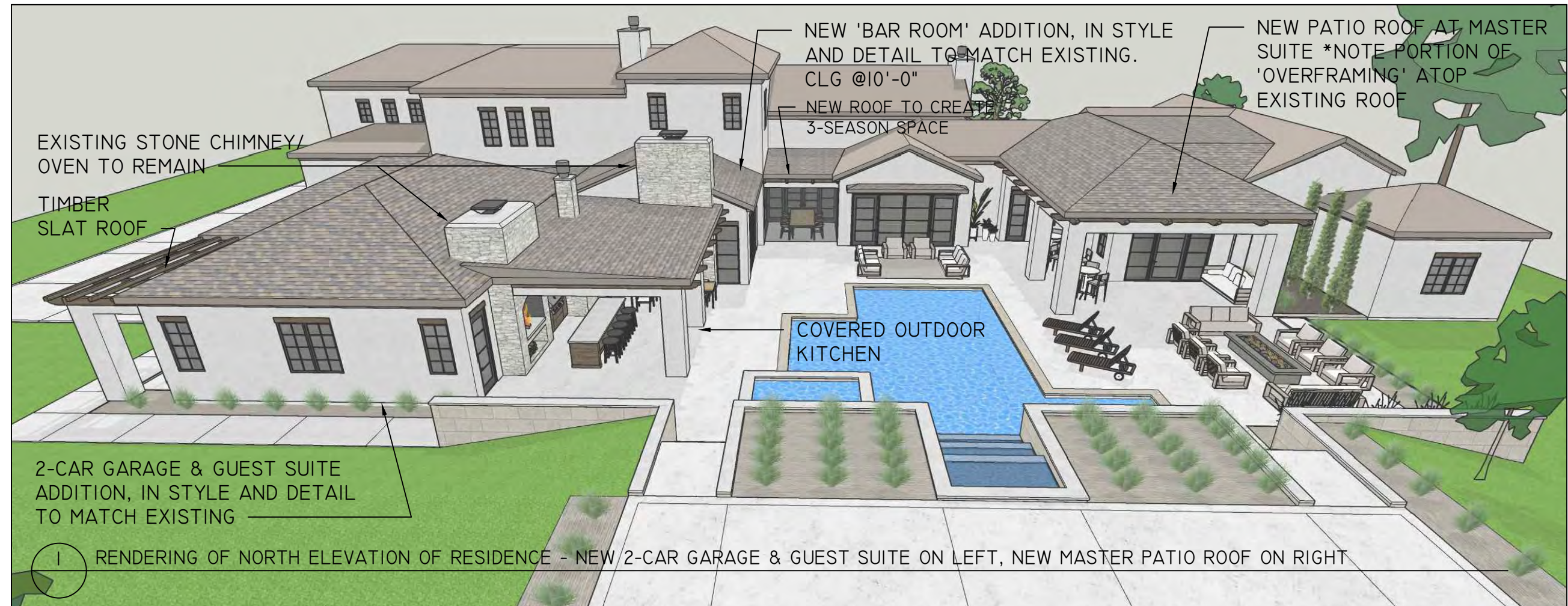
NICK ADAMS
A-2014003626

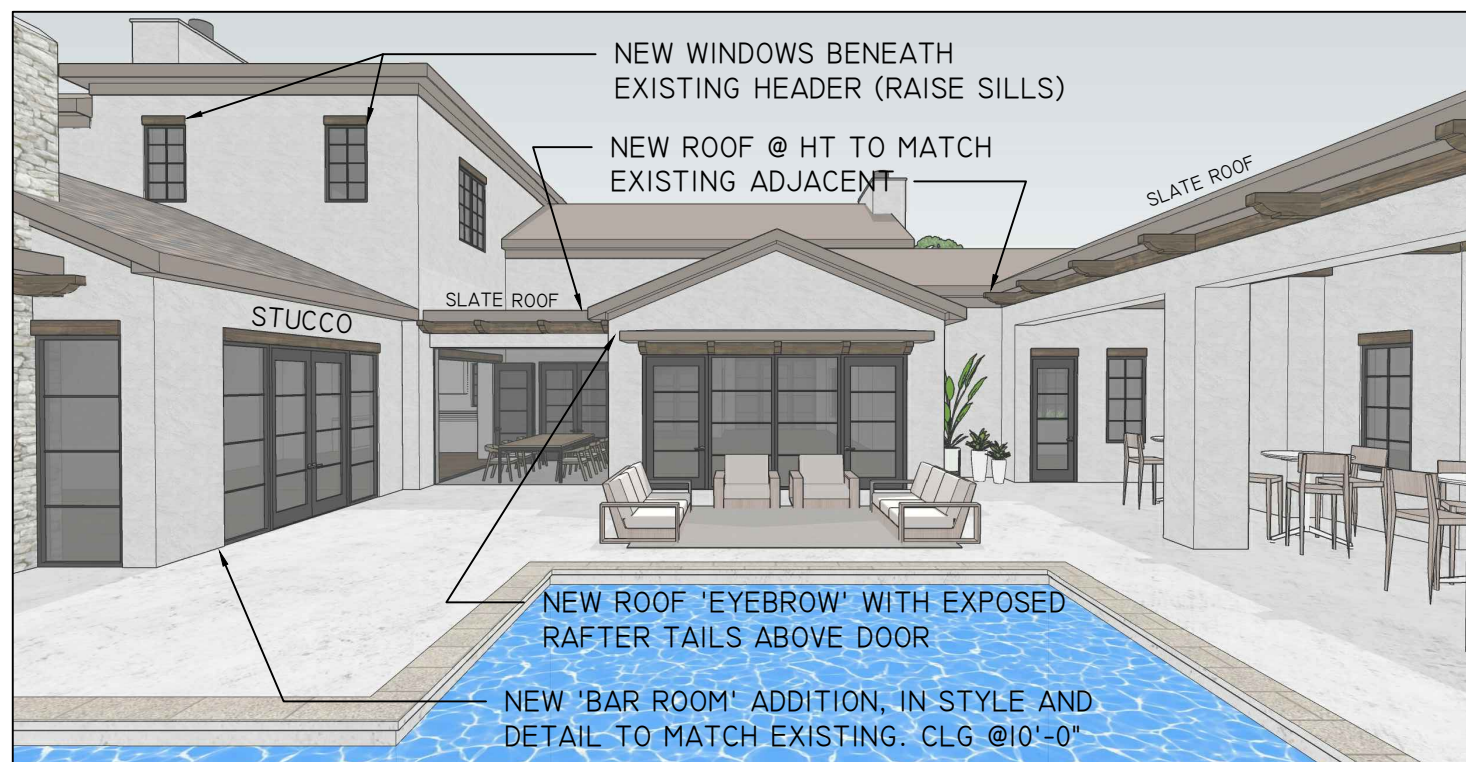
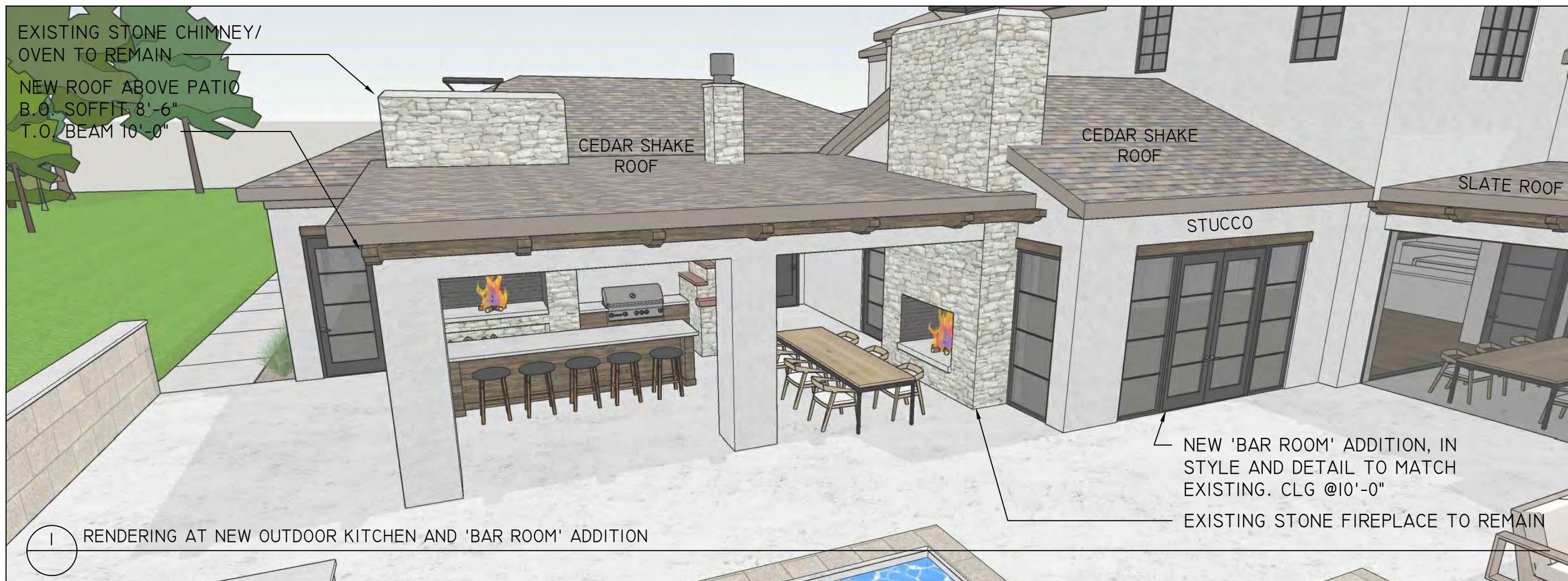
ARCHITECTURAL DOCUMENTS FOR:
RENOVATION / ADDITION TO
#28 SOMERSET DOWNS DR
ST LOUIS, MO 63124

10.22.21

A.7

NORTH ELEV.





DESIGN & WORKSHOP



4512 MANCHESTER AVE. #300
SAINT LOUIS, MO 63110
TEL: 314-534-4513

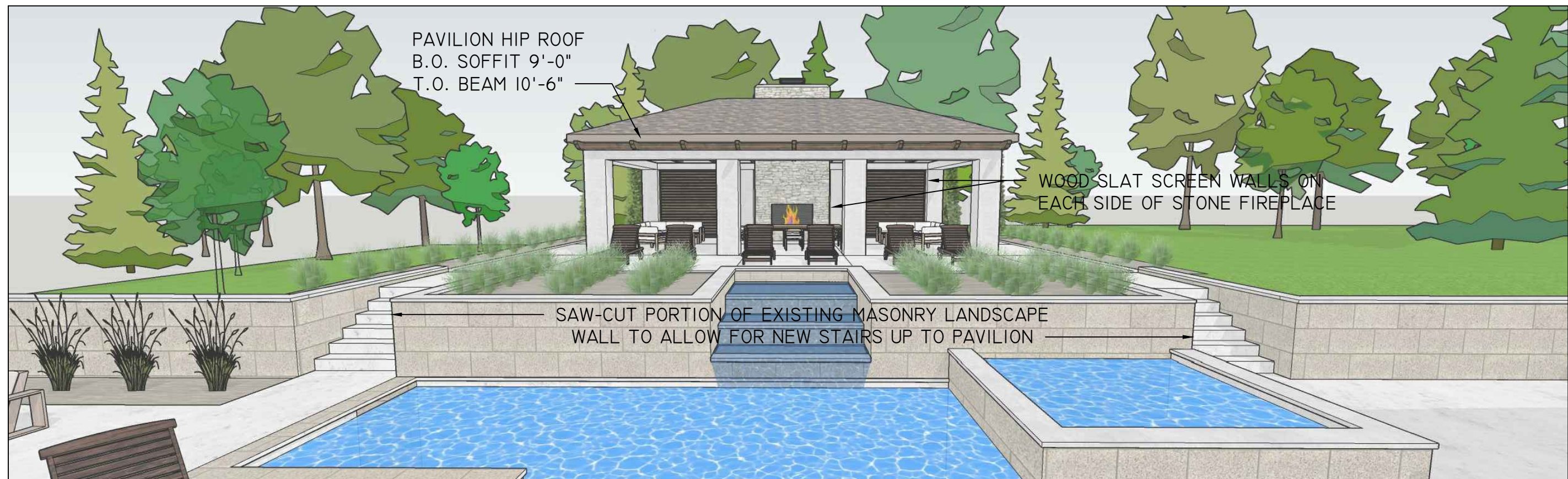
NICK ADAMS
A-2014003626

ARCHITECTURAL DOCUMENTS FOR:
RENOVATION / ADDITION TO
#28 SOMERSET DOWNS DR
ST LOUIS, MO 63124

10.22.21

A.8

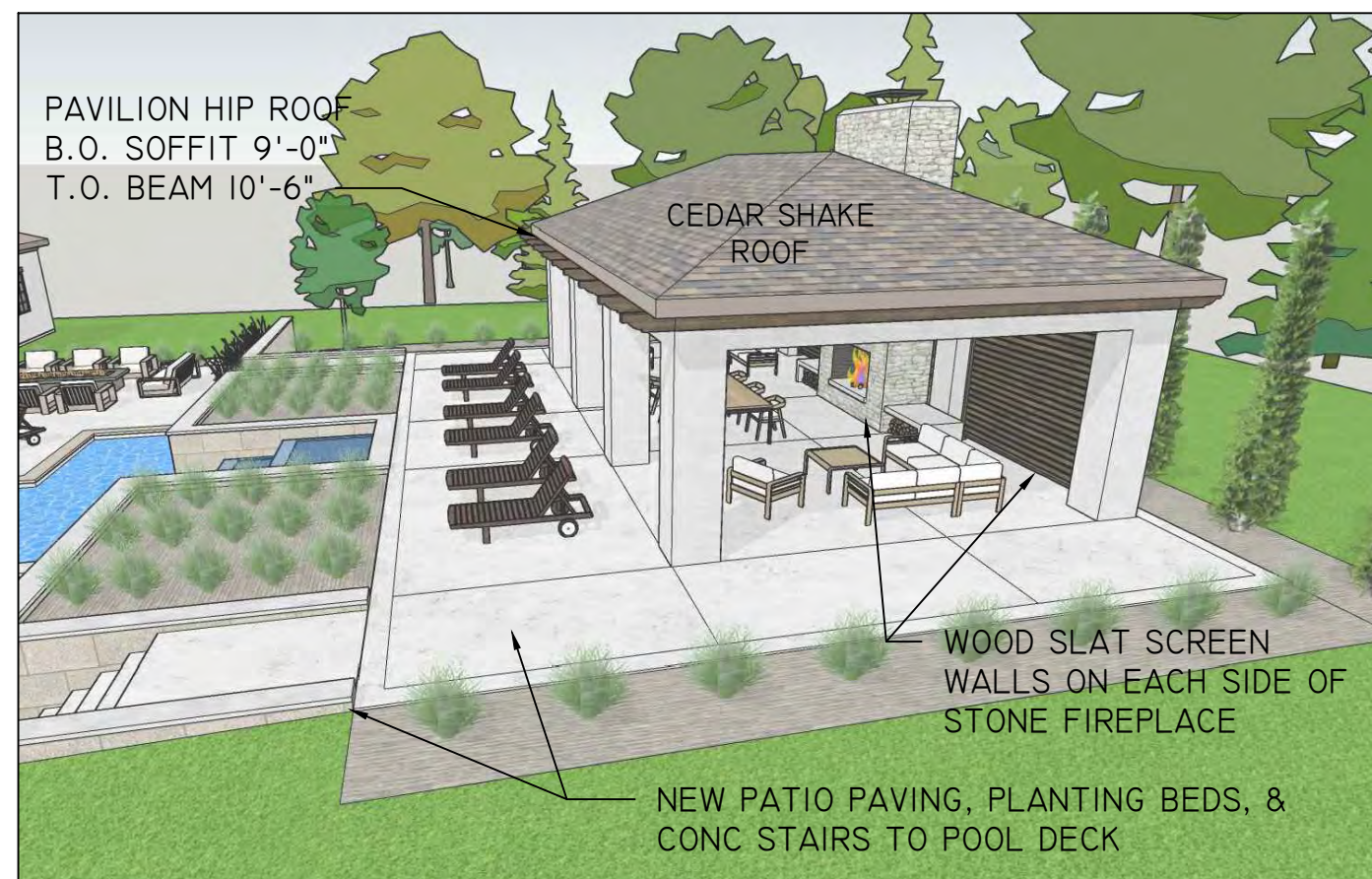
COURTYARD



1 RENDERING OF NEW PAVILION, SEEN FROM POOL (LOOKING NORTH)



2 PHOTOGRAPH OF EXISTING CONDITIONS @ AREA OF WORK



3 RENDERING @ NEW PAVILION, LOOKING WEST



DESIGN & WORKSHOP



4512 MANCHESTER AVE. #300
SAINT LOUIS, MO 63110
TEL: 314-534-4513

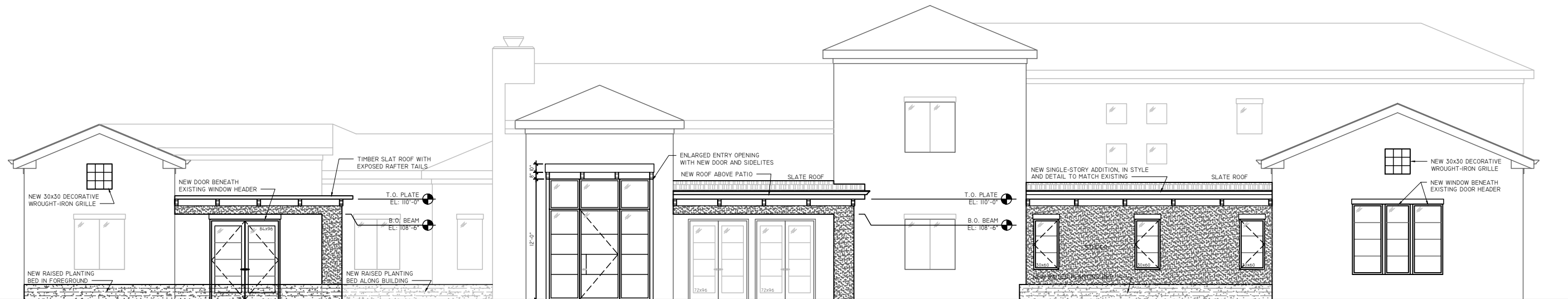
NICK ADAMS
A-2014003626

ARCHITECTURAL DOCUMENTS FOR:
RENOVATION / ADDITION TO
#28 SOMERSET DOWNS DR
ST LOUIS, MO 63124

10.22.21

A.9

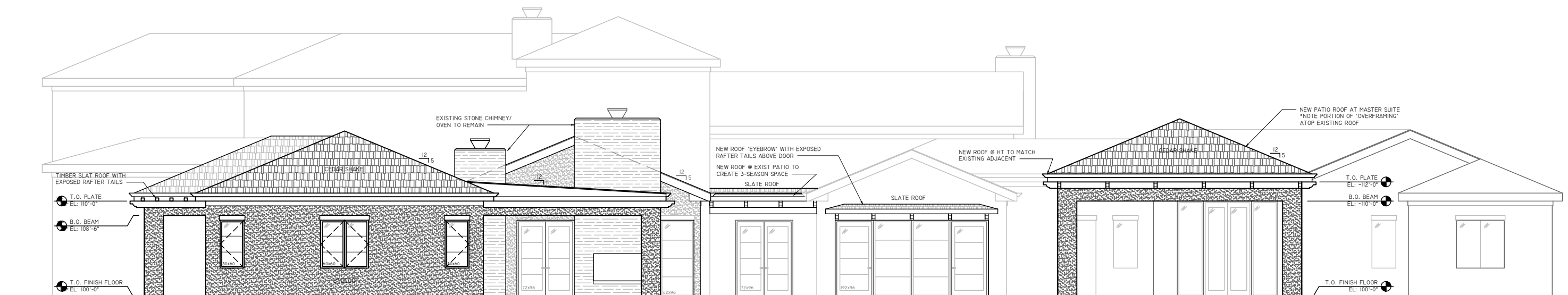
PAVILION



1 SOUTH ELEVATION - NEW MASTER PATIO ON LEFT, ENTRY MODIFICATIONS IN CENTER, NEW OFFICE ADDITION ON RIGHT
SCALE: $\frac{3}{32}$ " = 1'-0"



2 EAST ELEVATION - NEW 2-CAR GARAGE AND GUEST SUITE ON RIGHT
SCALE: $\frac{3}{32}$ " = 1'-0"



3 NORTH ELEVATION - NEW GUEST SUITE ON LEFT, NEW MASTER PATIO ROOF ON RIGHT
SCALE: $\frac{3}{32}$ " = 1'-0"



DESIGN & WORKSHOP



4512 MANCHESTER AVE. #300
SAINT LOUIS, MO 63110
TEL: 314-534-4513

NICK ADAMS
A-2014003626

ARCHITECTURAL DOCUMENTS FOR:
RENOVATION / ADDITION TO
#28 SOMERSET DOWNS DR
ST LOUIS, MO 63124

10.22.21

A.10

2D ELEVATIONS